



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

SUBMITTED BY: Michelle Austin
Current Planner

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: August 15, 2022
REPORT DATE: August 2, 2022
FILE: 3090-20 (DVP00516) (Ref: ZON00333)

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 3202 16TH AVENUE

PURPOSE:

To review a development variance permit application to vary minimum unit width for the construction of three-plex housing and a housing agreement to provide rental units.

RECOMMENDATION:

THAT Council approve Development Variance Permit 00516 (DVP00516) to vary Zoning Bylaw 5000 for Lot 1, DL 73, ODYD, Plan EPP41416 (3202 16th Avenue) as outlined in the report titled "Development Variance Permit Application for 3202 16th Avenue" dated August 2, 2022 and respectfully submitted by the Current Planner, by decreasing;

- a) Section 9.11.6 minimum unit width from 6.5m to 5.5m for proposed Units 1 and 2;

AND FURTHER, that Council's approval of DVP00516 is subject to the following;

- a) That the proposed development generally complies with the site plans (Attachment 1) to be attached to and form part of DVP00516;
- b) That the proposed development generally complies with the building elevations (Attachment 2) to be attached to and form part of DVP00516;
- c) That the proposed development generally complies with the landscape plan (Attachment 8) to be attached to and form part of DVP00516; and
- d) That required landscape areas and installations meet Zoning Bylaw 5000 and Landscape Standards Bylaw 5015;

AND FURTHER, that Council support entering into a housing agreement pursuant to Section 4.9 of Zoning Bylaw 5000 with the owner of Lot 1, DL 73, ODYD, Plan EPP41416 (3202 16th Avenue) prohibiting subdivision under the *Land Title Act* and the *Strata Property Act* for a period of 20 years.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council approve Development Variance Permit 00516 (DVP00516) to vary Zoning Bylaw 5000 for Lot 1, DL 73, ODYD, Plan EPP41416 (3202 16th Avenue) as outlined in the report titled "Development Variance Permit Application for 3202 16th Avenue" dated August 2, 2022 and respectfully submitted by the Current Planner, by decreasing;
 - a) Section 9.11.6 minimum unit width from 6.5m to 5.5m for proposed Units 1 and 2;

AND FURTHER, that Council's approval of DVP00516 is subject to the following;

- a) That the proposed development generally complies with the site plans (Attachment 1) to be attached to and form part of DVP00516;
- b) That the proposed development generally complies with the building elevations (Attachment 2) to be attached to and form part of DVP00516;
- c) That the proposed development generally complies with the landscape plan (Attachment 8) to be attached to and form part of DVP00516;
- d) That required landscape areas and installations meet Zoning Bylaw 5000 and Landscape Standards Bylaw 5015; and
- e) That, despite the above-noted site plan and building elevations being attached to and forming part of DVP00516, approval of DVP00516 does not extend to the construction of three-plex housing. In accordance with the maximum base density of the RM2 – Multiple Housing Residential zone, a maximum of two units are permitted on the subject property.

Note: Alternative 1 would allow the owner to construct a semi-detached building. The third unit would be lost. The semi-detached building could be strata titled into two separate titles that could be owned separately. The likelihood of these units being rented would be diminished due to separate ownership.

2. THAT Council deny Development Variance Permit 00516 (DVP00516) to vary Zoning Bylaw 5000 for Lot 1, DL 73, ODYD, Plan EPP41416 (3202 16th Avenue) as outlined in the report titled "Development Variance Permit Application for 3202 16th Avenue" dated August 2, 2022 and respectfully submitted by the Current Planner, by decreasing;
 - a) Section 9.11.6 minimum unit width from 6.5m to 5.5m for proposed Units 1 and 2.

Note: Alternative 2 would allow the owner to construct an up-down duplex building. The third unit would be lost. The duplex building could be strata titled into two separate titles that could be owned separately. The likelihood of these units being rented would be diminished due to separate ownership.

ANALYSIS:

A. Committee Recommendations:

At its meeting of June 28, 2022, the Advisory Planning Committee passed the following resolution:

"THAT Council approve Development Variance Permit 00516 (DVP00516) to vary Zoning Bylaw 5000 for Lot 1, DL 73, ODYD, Plan EPP41416 (3202 16th Avenue) as outlined in the report titled "Development Variance Permit Application for 3202 16th Avenue" dated June 22, 2022 and respectfully submitted by the Current Planner, by decreasing;

- a) *Section 9.11.6 minimum unit width from 6.5m to 5.5m for proposed Units 1 and 2;*

AND FURTHER, that Council's approval of DVP00516 is subject to the following;

- i. *That the proposed development generally complies with the site plans (Attachment 1), by Russell Shortt Land Surveyors, dated February 7, 2022, and by 925R Design, dated February 2, 2022, to be attached to and form part of DVP00516;*

- ii. That the proposed development generally complies with building elevations (Attachment 2), by 925R Design, dated February 2, 2022, to be attached to and form part of DVP00516;
- iii. That the proposed development generally complies with the landscape plan (Attachment 8), by Swan Lake Nurseryland, dated July 27, 2016, to be attached to and form part of DVP00516; and
- iv. That required landscape areas and installations meet Zoning Bylaw 5000 and Landscape Standards Bylaw 5015;

AND FURTHER, that Council enter into a housing agreement (Attachment 7) with the owner, prohibiting subdivision under the Land Title Act and the Strata Property Act for a period of 20 years.”

B. Rationale:

1. The subject property is a vacant corner lot, located at 3202 16th Avenue, with frontage on Hwy 97 (32nd Street), 16th Avenue and the lane west of 32nd Street and south of 16th Avenue (Figures 1 – 4).
2. The owner intends to construct a two storey three-plex with access and parking off the lane (Attachments 1 and 2). Proposed Units 1 and 2 are 680 ft² and located on the main floor with one bedroom each (Attachment 3). Proposed Unit 3 is 1,475 ft² and located on the upper floor with two bedrooms and a den.
3. The subject property is designated as Residential Medium Density (RMD) within the Official Community Plan (OCP) and zoned Multiple Housing Residential (RM2) within Zoning Bylaw 5000 (Attachment 4). It was recently rezoned from Large Lot Residential (R2) to RM2.
4. Section 9.11.6 of the RM2 zone requires a minimum unit width of 6.5m. Proposed Units 1 and 2 are each 5.5m wide. For this reason, a variance is required. The proposed 5.5m, unit width is within the range of 5m to 6.5m permitted in Zoning Bylaw 5000:

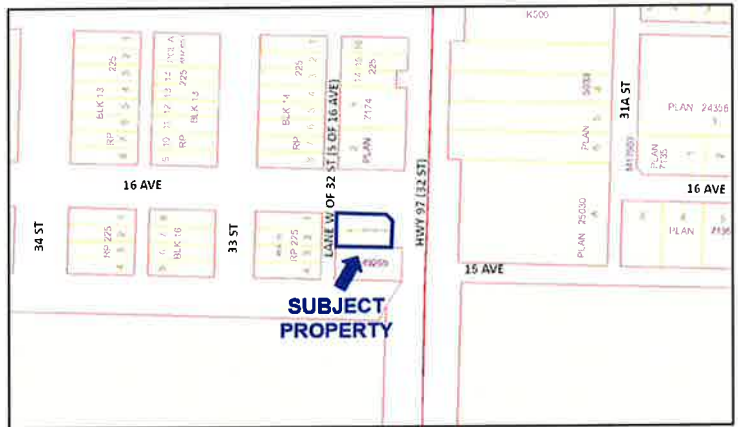


Figure 1: Location Map



Figure 2: Aerial

- R5, RTR, RM1, RM2 – 6.5m minimum unit width
- HR1, HR2 – 6m minimum unit width
- RST1, RST2 – 5m minimum unit width.

5. At 384.9 m², the subject property is an undersized lot as a result of arterial highway dedication through a lot consolidation subdivision in 2020 (Attachment 5). Prior to highway dedication being provided, the lot area was 463.8 m². As per Section 1.8 of Zoning Bylaw 5000, permitted density is calculated based on the original lot area of 463.8 m². The base density (60 units/ha) for the RM2 zone permits 2 units (exactly 2.8 units) on the property. In order to construct a three-plex on the property a minimum lot area of 500m² would be required to be within the base density ceiling of 60 units/ha.



Figure 3: Photo of Property – taken from across Hwy 97

6. Section 483 of the *Local Government Act* gives authority within a zoning bylaw to establish different density rules for zones and conditions under which an owner would be allowed a higher density. The RM2 zone allows a higher density of 72 units/ha if Council enters into a housing agreement with the owner to provide affordable or special needs housing in accordance with Section 4.9 of Zoning Bylaw 5000 (Attachment 6). In this circumstance, the property could support 3 units (precisely 3.3 units). For this additional unit, the owner is willing to register a housing agreement (Attachment 7) on title requiring the units to be rental, prohibiting all types of subdivision for a period of 20 years.



Figure 4: Photo of Property – taken from across 16th Ave

7. Given that the project does not exceed three units, a multi-family form and character development permit is not required. Regardless, the proposed development must meet the all the requirements of Zoning Bylaw 5000. With the exception of unit width, the project conforms to the overall building width, site coverage, impermeable surfaces, height, setbacks, private open space, parking and landscaping (Attachment 8) requirements of Zoning Bylaw 5000. To help ensure landscaping requirements are met, Administration requires, at the Building Permit stage, a cost estimate and security for all landscaping materials and labour.

8. Administration supports the variance request and housing agreement for the following reasons:

- a) The proposed unit width is within the range of what is allowed in residential zones within Zoning Bylaw 5000.
- b) Decreasing unit width is preferable to decreasing side yard setbacks, as it maintains appropriate distances for fire safety, privacy and spaciousness.
- c) Entering in a housing agreement provides the ability to create one additional unit and to secure much needed rental housing in the community.

C. Attachments:

- Attachment 1: Site Plans
- Attachment 2: Building Elevations
- Attachment 3: Floor Plans
- Attachment 4: RM2 Zoning
- Attachment 5: Lot Consolidation/Highway Dedication Plan
- Attachment 6: Section 4.9 Housing Agreements
- Attachment 7: Proposed Housing Agreement Bylaw
- Attachment 8: Landscape Plan

D. Council's Strategic Plan 2019 – 2022 Goals/Action Items:

The subject application involves the following goals/action items in Council's Strategic Plan 2019 – 2022:

- To increase rental vacancy rates.

E. Relevant Policy/Bylaws/Resolutions:

1. At its Regular Meeting of September 14, 2020, Council endorsed the following resolution:

“THAT Council support the rezoning application (ZON00357) to rezone Blk 10, PI 225, DL 73, ODYD (1800 32nd Street) from R2: Large Lot Residential to RM2: Multiple Housing Residential to develop four residential rental units at 1800 32nd Street;

AND FURTHER, that Council support the development variance permit (DVP00493) to reduce the minimum unit width from 6.5m to 4.72m;

AND FURTHER, that Council direct Administration to bring forward a zoning text amendment bylaw to address unit width restrictions in Zoning Bylaw 5000.”

2. Zoning Bylaw 5000, Section 4.9 Housing Agreements (Attachment 6).
3. Zoning Bylaw 5000, RM2 Zone, Section 9.11.6: with a housing agreement pursuant to Section 4.9, the maximum density shall be 60 units per gross hectare (Attachment 4).
4. Zoning Bylaw 5000, RM2 Zone, Section 9.11.6: maximum six dwelling units located in a building, with each unit having a minimum width of 6.5m.
5. Zoning Bylaw 5000, RM2 Zone, Section 9.11.6: maximum density is 60 units per gross hectare.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

Approved for submission to Council:

X Michelle Austin

Signer 1
Michelle Austin
Planner, Current Planning

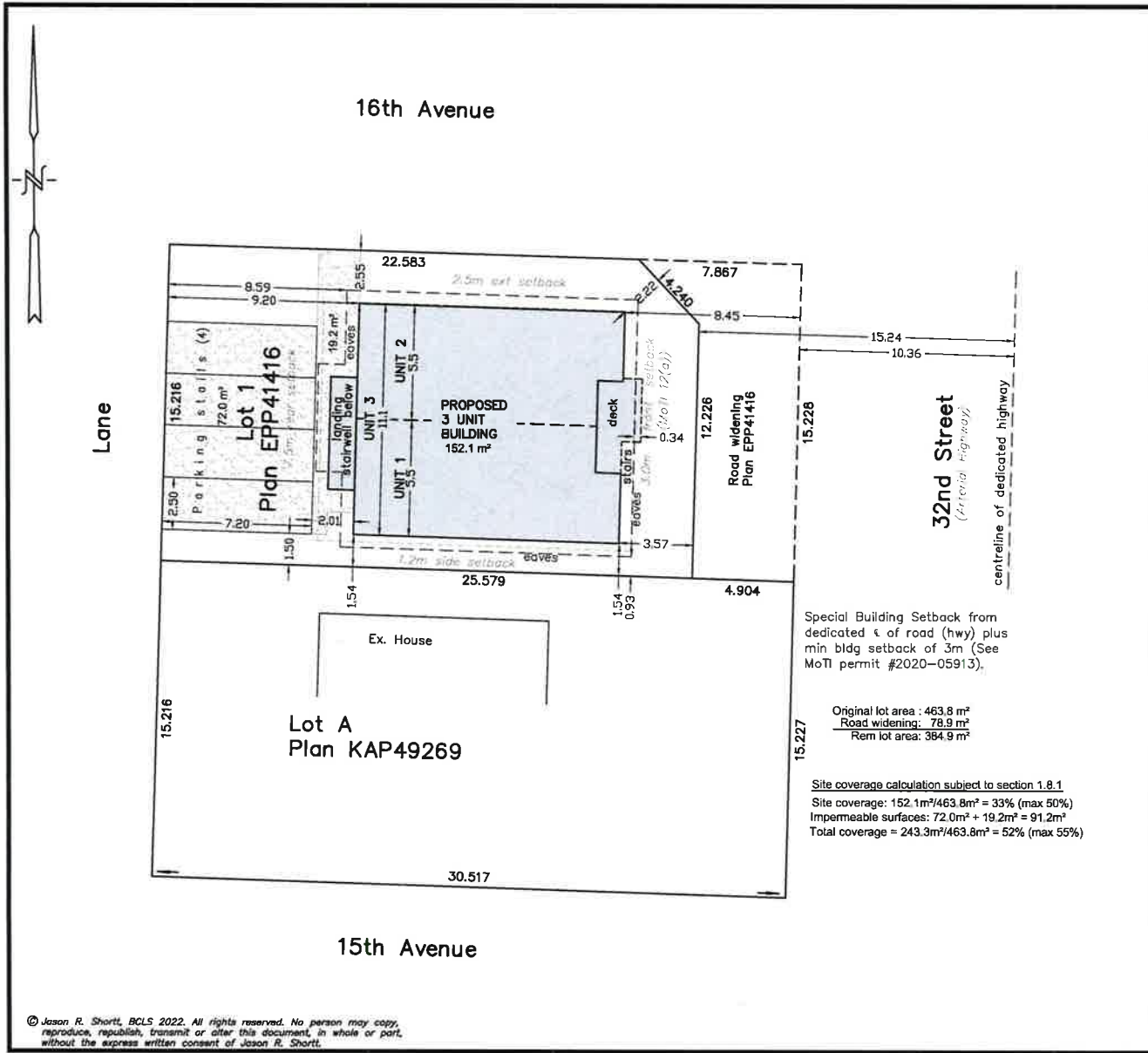
Will Pearce
Will Pearce, CAO

Date: 09. August 2022

X Kim Flick

Signer 2
Kim Flick
Director, Community Infrastructure and Development

REVIEWED WITH		
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Operations	<input checked="" type="checkbox"/> Current Planning
<input type="checkbox"/> Bylaw Compliance	<input type="checkbox"/> Public Works/Airport	<input type="checkbox"/> Long Range Planning & Sustainability
<input type="checkbox"/> Real Estate	<input type="checkbox"/> Facilities	<input type="checkbox"/> Building & Licensing
<input type="checkbox"/> RCMP	<input type="checkbox"/> Utilities	<input checked="" type="checkbox"/> Engineering Development Services
<input type="checkbox"/> Fire & Rescue Services	<input type="checkbox"/> Recreation Services	<input type="checkbox"/> Infrastructure Management
<input type="checkbox"/> Human Resources	<input type="checkbox"/> Parks	<input type="checkbox"/> Transportation
<input type="checkbox"/> Financial Services		<input type="checkbox"/> Economic Development & Tourism
<input checked="" type="checkbox"/> COMMITTEE: APC (Jun.28/2022)		
<input type="checkbox"/> OTHER:		



Plan to Accompany Variance Application for Lot 1, DL 73, ODYD, Plan EPP41416. (to change required minimum unit width from 6.5m to 5.5m (Sec 9.11.6))

Client: Rubijane Inv.
Civic address: 3202 16th Avenue

SCALE 1:200



The intended plot size of this plan is 432mm in width by 280mm in height (ANSI B) when plotted at a scale of 1:200. Distances are shown in metres and decimals thereof. This plan shows horizontal ground level distances except where otherwise noted.

TITLE IS SUBJECT TO THE FOLLOWING NON-FINANCIAL CHARGES: Restrictive Covenants - H537, KF43651

RM2 zoning (Sec 9.11) and subject to Sec 1.8.1 and MoTI permit #2020-05913.

This plan was prepared for design purposes and is for the exclusive use of Rubijane Inv..

No visible encroachments exist on the property from any improvements situated on an adjoining property unless noted otherwise.

Parcel dimensions are derived from Plan EPP41416 & field survey.

This plan has been prepared based on Land Title and Survey Authority records and a field survey completed on Dec 19, 2019. Unregistered interests have not been included or considered.

The Certificate of Title PID 031-286-411 was searched on January 4, 2022.

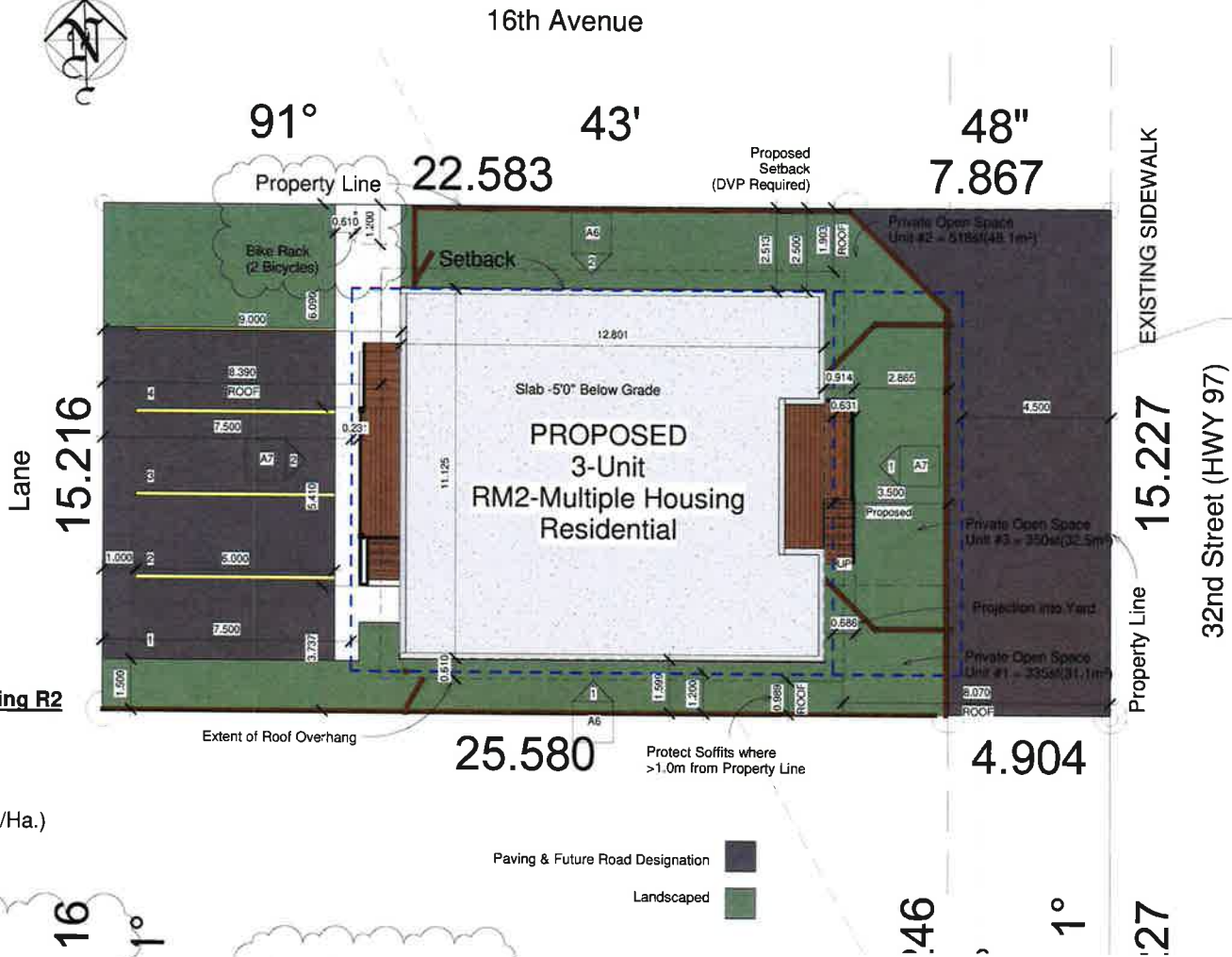
Jason R. Shortt accepts no responsibility for and hereby disclaim all obligations and liabilities for damages including, but not limited to, direct, indirect, special, and consequential damages arising out of or in connection with and direct or indirect use or reliance upon the Plan beyond its intended use.

February 7, 2022
January 5, 2022

russell shortt land SURVEYORS 2801-32nd Street, Vernon, B.C. V1T 5L8 Phone: (250)545-0511 Email: jasons@rshortt.ca	FILE: 27033
	F.B. 1307 p70

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VICINITY MAP



1500 32nd Street - Previous Zoning R2

New Zoning - RM2

Legal Description:

Site Area: 464.36m² = 0.115 Acres

Density Allowed = 3 Units (72 Units/Ha.)

Density Proposed = 3 Units

Coverage:

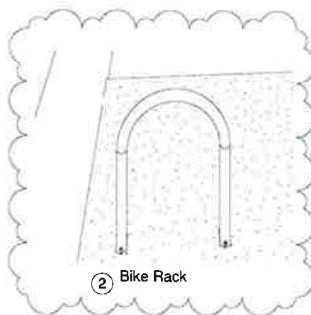
Buildings = 136.57m² = 29.4%
 Decks & Patios = 12.17m² = 2.6%
 Walkways / Parking = 87.05m² = 18.7%
 TOTAL: 235.79m² = 50.8%
 Landscaping/Road Dedication = 228.57 = 49.2%

Parking Requirement:

2 - 1 Bedroom Units @ 1.25 Spaces/Unit = 2.5 Spaces
 1 - 2 Bedroom Unit @ 1.5 Spaces/Unit = 1.5 Spaces

Parking Spaces Required = 4
 Parking Spaces Provided = 4

Bicycle Parking 0.5 Spaces/Unit = 1.5 Spaces Required.
2 Provided



Paving & Future Road Designation [Dark Blue Box]
 Landscaped [Green Box]

Zoning - RM2
 Front Setback 4.5m or 6m to Garage
 Side Setbacks Min 1.2m or 2.5m (Flanking Street)
 Rear Setback Min 7.5m



No.	Description	Date
DP	Development Permit	July 16 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 23 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2022
1	Site Notes	May 5 2022
2	Address/Bike Parking	Feb 2 2022

250.307.6818-925RDesign.com	
No.	Description
DP	Development Permit July 16 2016
DP2	Development Permit Mar 3 2017
DP3	Development Permit Mar 23 2017
DVP	DVP Apr 10 2017
BP	Building Permit Apr 17 2022
1	Site Notes May 5 2022
2	Address/Bike Parking Feb 2 2022

Beatrice House 3202
 16th Avenue
 Vernon BC
 Site

Date	Feb 2, 2022
Drawn by	ML
Project No	925RD1_16032
Scale	1/8" = 1'-0"

A1

2/2/2022 12:30:53 PM



① Front



② Back

COLOUR BOARD



(301) Main Colour:
James Hardie
Iron Gray - Board & Batten



(302) Accent Colour:
James Hardie
Light Mist - Horizontal Lap



Roof Colour:
Grey Asphalt Shingles

*Black Aluminum Handrails
Soffits, Gutters &
Downspouts

**White Windows

GENERAL NOTES:

1. These documents outline the general character and quality of the work and some of its details. Parts not detailed shall be constructed in accordance with best practices of work of this class, and shall provide the required strength and quality to complete all requirements of the work.
2. The construction shall be in accordance with the British Columbia Building Code, 2018 Edition. Every effort will be made to ensure that any changes to the code are compiled with and all amendments are incorporated in the work. Materials and workmanship shall be per BCBC, Part 10 "Energy and Water Efficiency".
3. All work shall conform to local building codes and by-laws whichever may take precedence.
4. Prior to proceeding with construction, the Contractor must verify all information. Start of construction signifies the Contractor's acceptance of the contract documents.
5. Any variances from the drawings and specifications, and adverse conditions encountered at the job site, shall be resolved by the Owner Representative in consultation with the Designer.
6. All workmanship is to be of a standard equal in all respects to good building practice.
7. The Consultants do not assume liability for any errors or omissions in the contract documents, unless advised in writing of such errors or omissions prior to commencement of construction. The Contractor shall advise the Consultants if any discrepancies are observed or explanations are required.
8. Dimensions are to face of studs.
9. All doors between garage and dwelling units, including mechanical rooms, to be light fitting, weather stripped and shall be fitted with a self-closing device (excluding closets and storage).
10. Provide interconnected Smoke Alarms as per Building Code.

CONSTRUCTION NOTES:

1. Exterior walls to liveable area: 2x6 studs at 16" o.c.
2. Range hood and dryer to be exhausted to outside.
3. All ceilings: 5/8" gypsum board.
4. 5/8" fire guard gypsum board at all garage walls/ceilings common to liveable area.
5. All handrails as per BCBC.
6. Provide 6 mil. poly vapour barrier at warm side of insulation (heating mode) under wall finish and under all concrete slabs on grade.
7. Exterior wall insulation: RSI 4.2 glass fibre batt at 6" walls; attic insulation to be RSI 8.8 glass fibre.
8. 25% of required attic vents to be at top 1/3 of roof as per BCBC.
9. Verify all rough opening requirements for doors, windows, equipment, and fixtures before ordering.
10. Verify/coordinate these plans with truss system final design.
11. All bedroom windows to have a minimum vent size of 24" x 36" for egress.

General Foundation Notes:

1. All work to be in accordance with Structural Drawings and Specifications.
2. Footings and foundation walls indicated on the drawings are generic. The Contractor is responsible for testing the soil and assure adequacy of the structure.
3. All concrete to:
 - be minimum 3,000 psi (28 day)
 - conform to C.S.A. A23.1
 - have 1" max. aggregate size
 - foundation walls, footings, and interior slabs - h minimum 3% - 4% air entrainment +/- 1%
 - exterior slabs - h min. 5% - 7% air entrainment +/- 1%
 - have maximum 4" slump.
4. Consolidate concrete in forms with high frequency internal vibrators - do not over vibrate so as to cause separation of the mix or use vibrators to move concrete.
5. All concrete reinforcing to:
 - be of new deformed stock
 - be of minimum grade 400mpa steel
 - be placed in accordance with the latest edition of the A.C.I. detailing manual no. 315.
5. Verify all site conditions in conjunction with the drawings notify the architect and owner of any discrepancies in writing.
7. Footings to bear on undisturbed native material or engineered fill at a depth below the frost line. Where an engineer's soils report is available verify requirements & comply with recommendations contained therein.
8. Notify the architect and owner in writing where soil conditions are found to be infirm or potentially unstable.
9. Welded wire fabric to conform to C.S.A. G30.6 and to be lapped min. 6" or one full grid whichever greater.
10. Un-detailed lap splices to be 40 bar diameters staggered.
11. Provide damp proofing below grade & approved perimeter footing drainage system.
12. Where required, step footings and foundation walls at min. 24" vertical & horizontal increments.
13. Maintain minimum 6" clear from top of foundation walls to finished Grade.
14. Exterior concrete slabs/stairs abutting concrete foundation to be doweled using 10m bar @ 2'-0" typical.
15. All bearing columns of girder trusses and support beams are to be posied to foundation.
16. All Slab thickening to c/w 2 rows longitudinal 15m rebar.

General Framing Notes:

1. Framing Lumber to be S.P.F. # 2 or better.
2. All beams/headers to be minimum 3 1/2" "timberstrand" "LSL".
3. Roof/floor truss system design by registered structural engineer.
4. Verify/coordinate design with these plans prior to ordering of material.
5. Truss system supplier to provide all required blocking/bracing for roof system.
6. All trusses to be secured to wall plate with "hurricane anchors" or equal.
7. All truss ends to be braced with continuous 2x4 stringer.
8. All "TJI" equivalent engineered wood joists rim/edge of wall to suit manufacturer's requirements.
9. All intels in exterior and bearing walls to be 3 - 2x10's unless otherwise specified.
10. At exterior walls provide sealed membrane flashings around all openings. Provide box-outs / sleeves for service penetrations. Seal around service penetrations with caulking on rigid foam filler, or fill with water resistant expanding foam insulation.
11. All interior doors to be framed at 6" from corner of wall at hinge side U.N.O.

LEGAL DESCRIPTION: Lot 788, BLK 15, DL 73, QDYO, PLAN 225
CIVIC ADDRESS: 3202 16th Avenue, Vernon BC.

925R
Design Inc.

250.307.6818-925RDesign.com

No.	Description	Date
DP	Development Permit	July 18 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2022
1	Site Notes	May 6 2020
2	Address/Bike Parking	Feb 2 2022

Beatrice
House 3202
16th Avenue
Vernon BC
Cover Sheet

Date	Feb 2,
Drawn by	
Project No.	925RD1
Scale	1/4"

A0

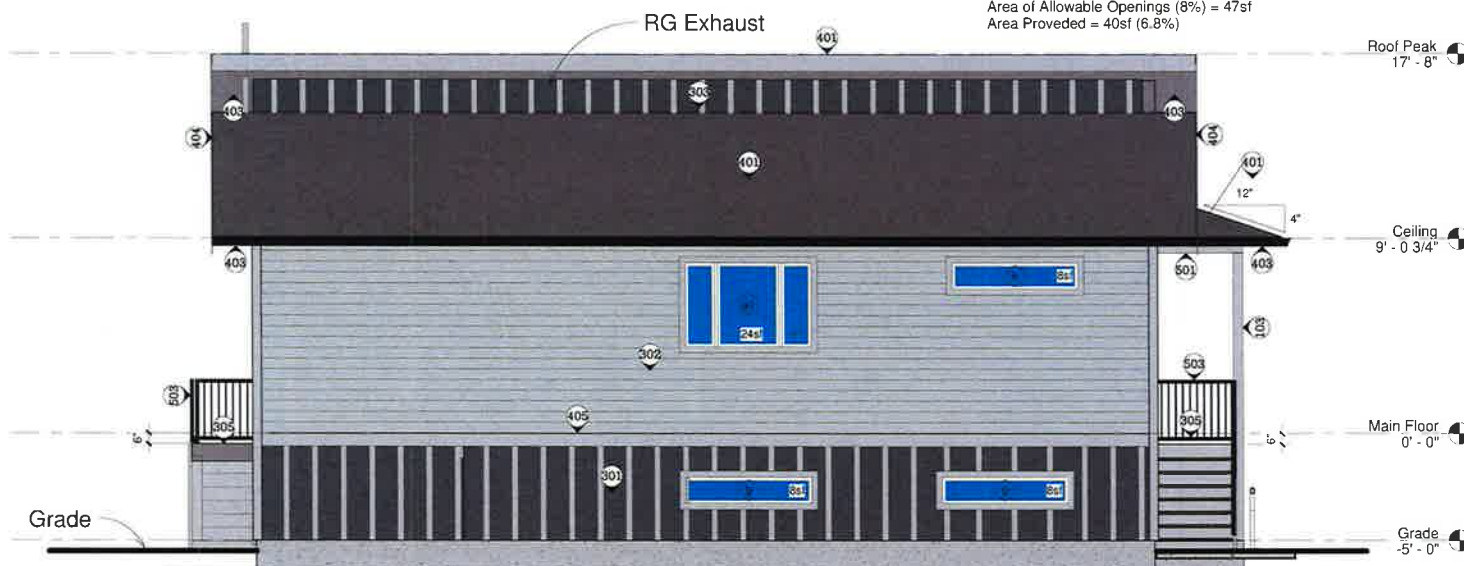
Attachment 2

No.	Description	Date
DP	Development Permit	July 18 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2022
1	Site Notes	May 6 2020
2	Address/Bike Parking	Feb 2 2022



① South
1/4" = 1'-0"

Spatial Separation Calculation:
Limiting Distance: 1.6m
Area of Wall = 588sf
Area of Allowable Openings (8%) = 47sf
Area Provided = 40sf (6.8%)



② North
1/4" = 1'-0"

Spatial Separation Calculation:
Limiting Distance: 2.513m
Area of Wall = 588sf
Area of Allowable Openings (10%) = 58sf
Area Provided = 48sf (8.16%)

Door Schedule			
Type Mark	Family	Type	Count
1	Single Half Lite	36" x 80"	3
2	Single-Glass 1	32" x 80"	2
3	Single-Flush	32" x 80"	3
4	Single-Flush	30" x 80"	7
5	Single-Flush	24" x 80"	2
8	Double-Flush	48" x 80"	3
13	Sliding-Closet	72" x 80"	3
16	Double-Flush	52" x 80"	1
Grand total: 24			

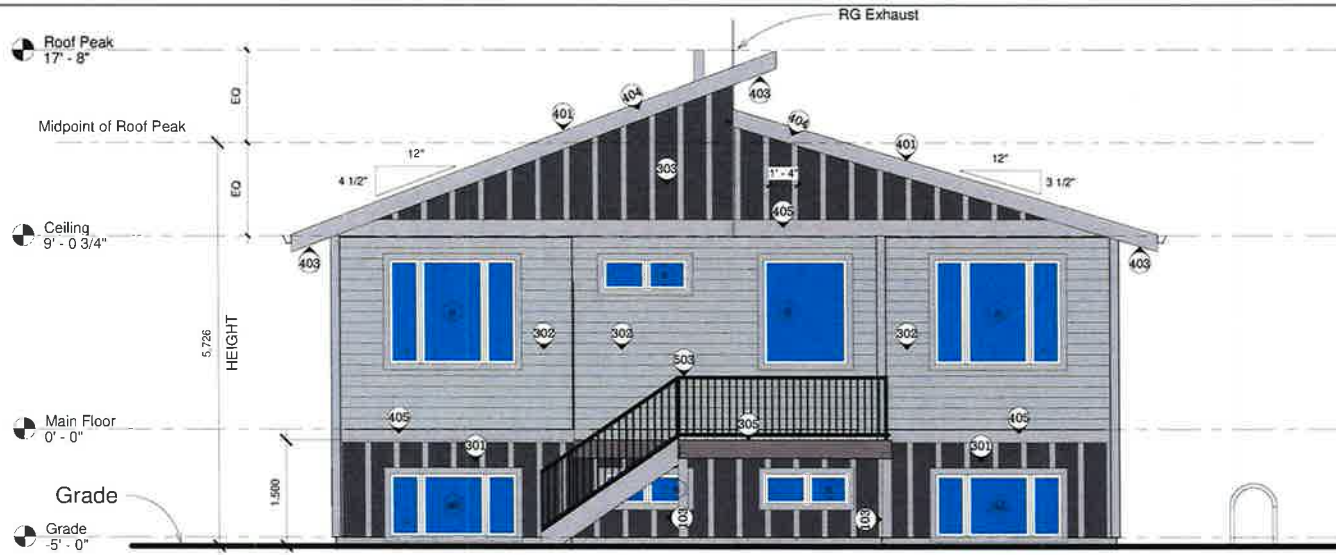
Window Schedule		
Type Mark	Family and Type	Count
a	Slider three panel with Trim: 72" x 60"	2
a1	Slider three panel with Trim: 72" x 48"	4
a2	Slider three panel with Trim: 72" x 36"	2
b	Fixed with Trim: 72" x 16"	5
c	Fixed with Trim: 60" x 18"	2
d	Fixed with Trim: 48" x 60"	1
e	Casement Dbl w Trim: 48" x 18"	4
Grand total: 20		

Beatrice
House 3202
16th Avenue
Vernon BC
North/South
Elevation

Date	Feb 2, 2022
Drawn by	ML
Project No.	925RDI_16032
Scale	1/4" = 1'-0"

A6

No.	Description	Date
DP	Development Permit	July 18 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BIP	Building Permit	Apr 17 2022
1	Site Notes	May 6 2023
2	Address/Bike Parking	Feb 2 2022



① East
1/4" = 1'-0"



② West
1/4" = 1'-0"

Door Schedule			
Type Mark	Family	Type	Count
1	Single Half Lite	36" x 80"	3
2	Single-Glass 1	32" x 80"	2
3	Single-Flush	32" x 80"	3
4	Single-Flush	30" x 80"	7
5	Single-Flush	24" x 80"	2
8	Double-Flush	48" x 80"	3
13	Sliding-Closet	72" x 80"	3
16	Double-Flush	52" x 80"	1

Grand total: 24

Window Schedule		
Type Mark	Family and Type	Count
a	Slider three panel with Trim: 72" x 60"	2
a1	Slider three panel with Trim: 72" x 48"	4
a2	Slider three panel with Trim: 72" x 36"	2
b	Fixed with Trim: 72" x 16"	5
c	Fixed with Trim: 60" x 18"	2
d	Fixed with Trim: 48" x 60"	1
e	Casement Dbl w Trim: 48" x 18"	4

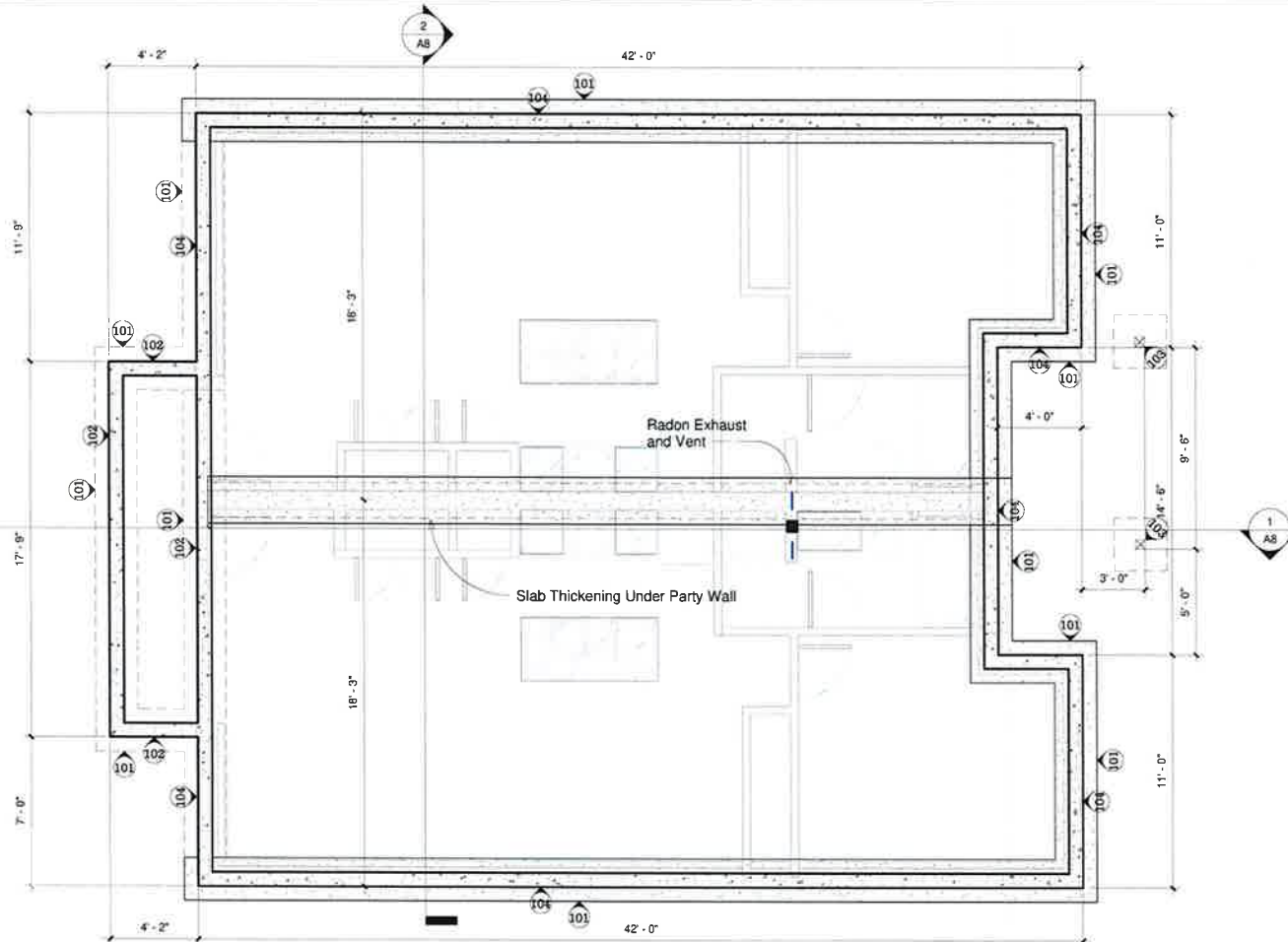
Grand total: 20

Beatrice
House 3202
16th Avenue
Vernon BC
West/East
Elevation

Date Feb 2, 2022
Drawn by ML
Project No. 925RDj_16032
Scale 1/4" = 1'-0"

A7

No.	Description	Date
DP	Development Permit	July 18 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2022
1	Site Notes	May 9 2020
2	Address/Bike Parking	Feb 2 2022



Assemblies - Ptacs

101 Concrete Foundation
8x20
Min. 3'-0" Below Grade
c/w 4" Perimeter Drain

106 4" Concrete Slab on Grade
12" Min. Gravel on
Compacted Fill

201 1/2" Gypsum Board
Both Sides of
2x4 @ 16" o/c

Description	Nominal	Effective
Fibre Cement Board & Batten - JH Iron Gray		
Building Paper		
1/2" Plywood (Ext) Sheathing	0.11	
2x6 @ 24" o/c		
Batt Insulation	RSI 4.23(R-24)	RSI 2.8(R-15.9)
6 MIL Poly Vapour Barrier		
1/2" Gypsum Board	0.08	0.08
Interior Air Film	0.12	0.12
TOTAL (eff.) R-Value		RSI: 3.14 (R-17.8)
		Min. 3.08 (R-17.5)

401 Asphalt Shingle Roofing on
Building Paper
1/2" Roof Sheathing
Pre-Engineered Trusses

102 8" Reinforced Concrete Wall

110 4'-0" Wide Perimeter
3" SM Rigid Insulation RSI 2.64
Where Slab is at Grade

202 1/2" Gypsum Board
Both Sides of
2x6 Supporting Wall on
8x20 Footing

Description	Nominal	Effective
Fibre Cement Horizontal Siding - JH Light Mist		
Building Paper		
1/2" Plywood (Ext) Sheathing	0.11	
2x6 @ 24" o/c		
Batt Insulation	RSI 4.23(R-24)	RSI 2.8(R-15.9)
6 MIL Poly Vapour Barrier		
1/2" Gypsum Board	0.08	0.08
Interior Air Film	0.12	0.12
TOTAL (eff.) R-Value		RSI: 3.14 (R-17.8)
		Min. 3.08 (R-17.5)

402 RSI 8.8 Insulation R-50
6 MILs Poly Vapour Barrier
1/2" Gypsum Board RSI 0.08
TOTAL RSI: 8.88

103 Column on 12x30x30
Concrete Footing on
Compacted Fill

204 1-HR FR Partywall (CBC W13a) STC 57
5/8" Type "X" Gypsum Board
2x4 @ 16" o/c

Description	Nominal	Effective
8" Foundation Wall	0.25	0.25
Dampproofing Below Grade		
3" Airspace	0.16	0.16
2x4 @ 2" o/c		
Batt Insulation	RSI 3.52(R-20)	RSI 2.8(R-15.9)
1/2" Gypsum Board	0.08	0.08
Interior Air Film	RSI 0.12	RSI 0.12
TOTAL (eff.) R-Value		RSI: 3.41 (R-19.7)
		Min. 2.96 (R-16.9)

Fill With Safe & Sound Batt Insulation
1" Airspace to be Maintained
2x4 @ 16" o/c
Fill With Safe & Sound Batt Insulation
5/8" Type "X" Gypsum Board

303 Water Proof Vinyl Deck Finish on
3/4" Exterior Plywood on
2x10 @ 16" o/c
Slope to Drain
Exterior Soffit

403 Perforated Aluminum Soffit

105 Floor Finish on
4" Concrete Slab on Grade
6MIL Poly Vapour Barrier
4" Min. Screened Gravel on (For RG Exhaust)
Compacted Fill

205 Floor Finish on (F9c - 1hr) STC 52
5/8" Plywood Sub-floor
11 7/8" TJI Joists @ 16" o/c
Fill Voids With Sound Batt Insulation
Resilient Metal Channel
2-Layers 5/8" Type "X" Gypsum Board

304 Board and Batten
Board to Match 301 - JH Iron Gray
Batten to Match 302 - JH Light Mist
Building Paper
1/2" Plywood (Ext) Sheathing
2x6 @ 24" o/c on
Pre-Engineered Trusses

404 1x10 Fascia
405 8" Horizontal Accent Band
501 Pre-Engineered Beam
503 Black Aluminum Guard Rail
42" A.F.F.

**Beatrice
House 3202
16th Avenue
Vernon BC
Foundatio**

Attachment 3

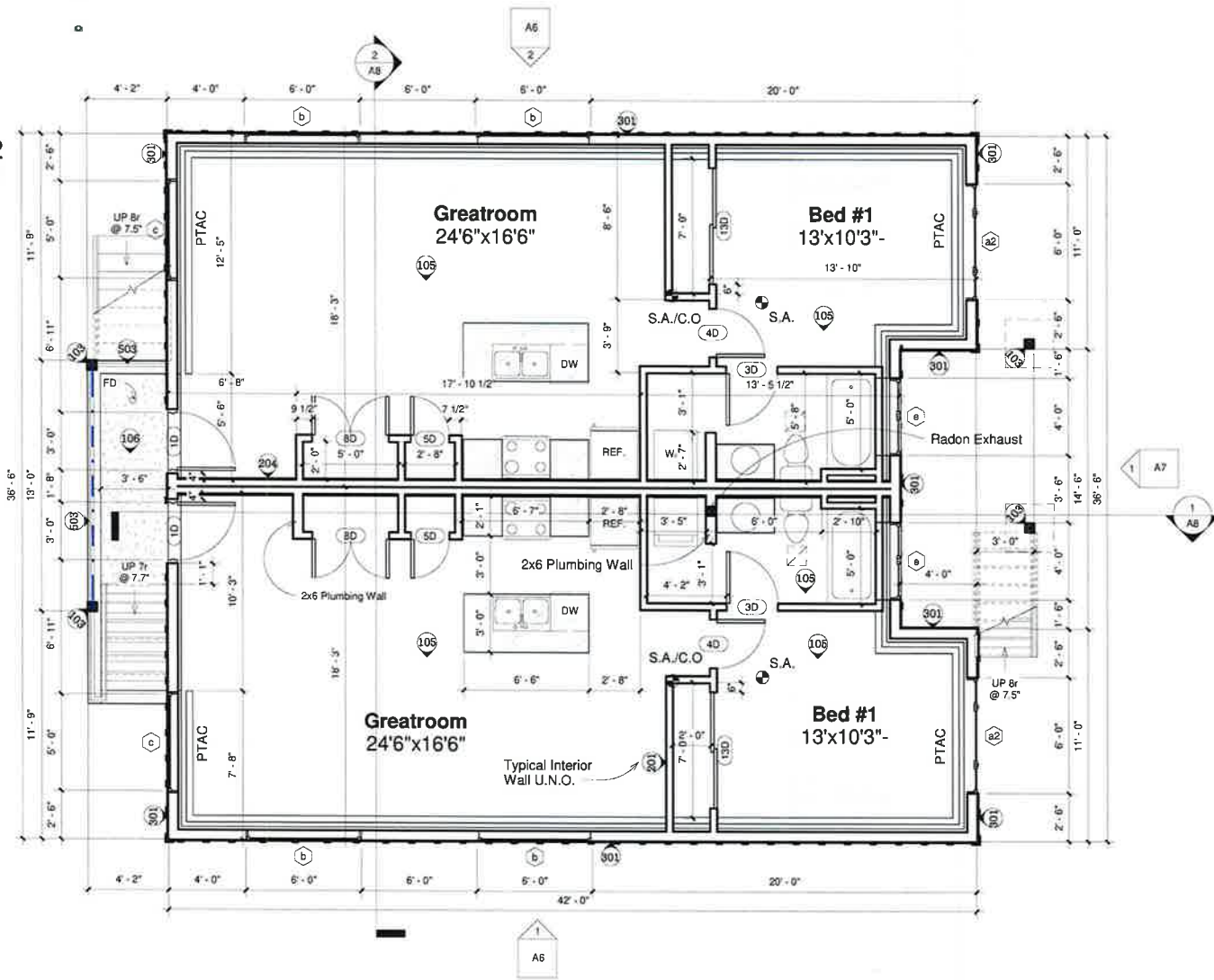
Date	Feb 2
Drawn by	
Project No.	925RDI
Scale	1/4"

A2

No.	Description	Date
DP	Development Permit	July 15 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2020
1	Site Notes	May 6 2020
2	Address/Bike Parking	Feb 2 2022

Unit 2
680sf

Unit 1
680sf

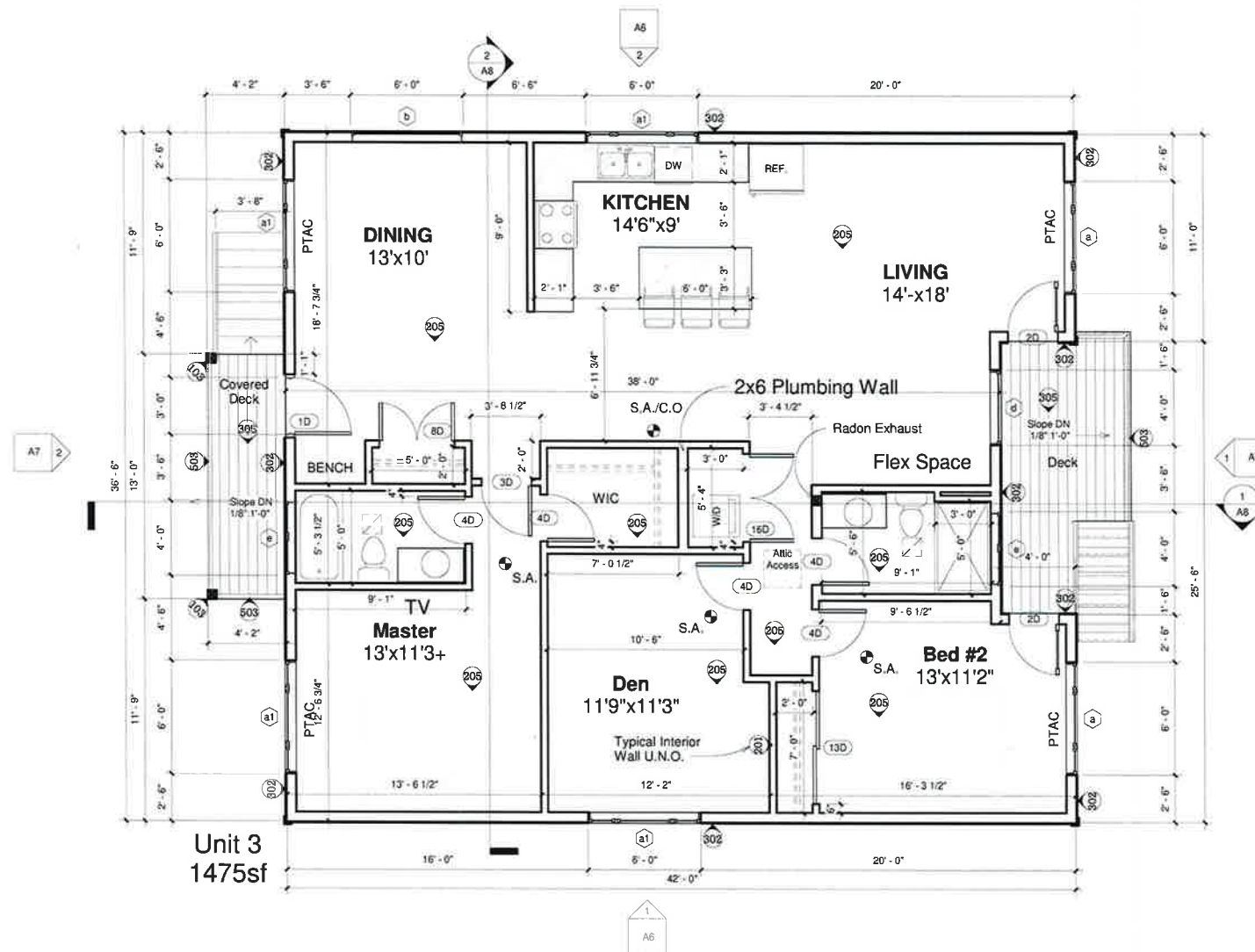


Beatrice
House 3202
16th Avenue
Vernon BC
Lower Floor

Date	Feb 2, 2022
Drawn by	ML
Project No.	925RDL_16032
Scale	1/4" = 1'-0"

A3

No.	Description	Date
DP	Development Permit	July 18 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2022
1	Site Notes	May 5 2020
2	Address/Bike Parking	Feb 2 2022

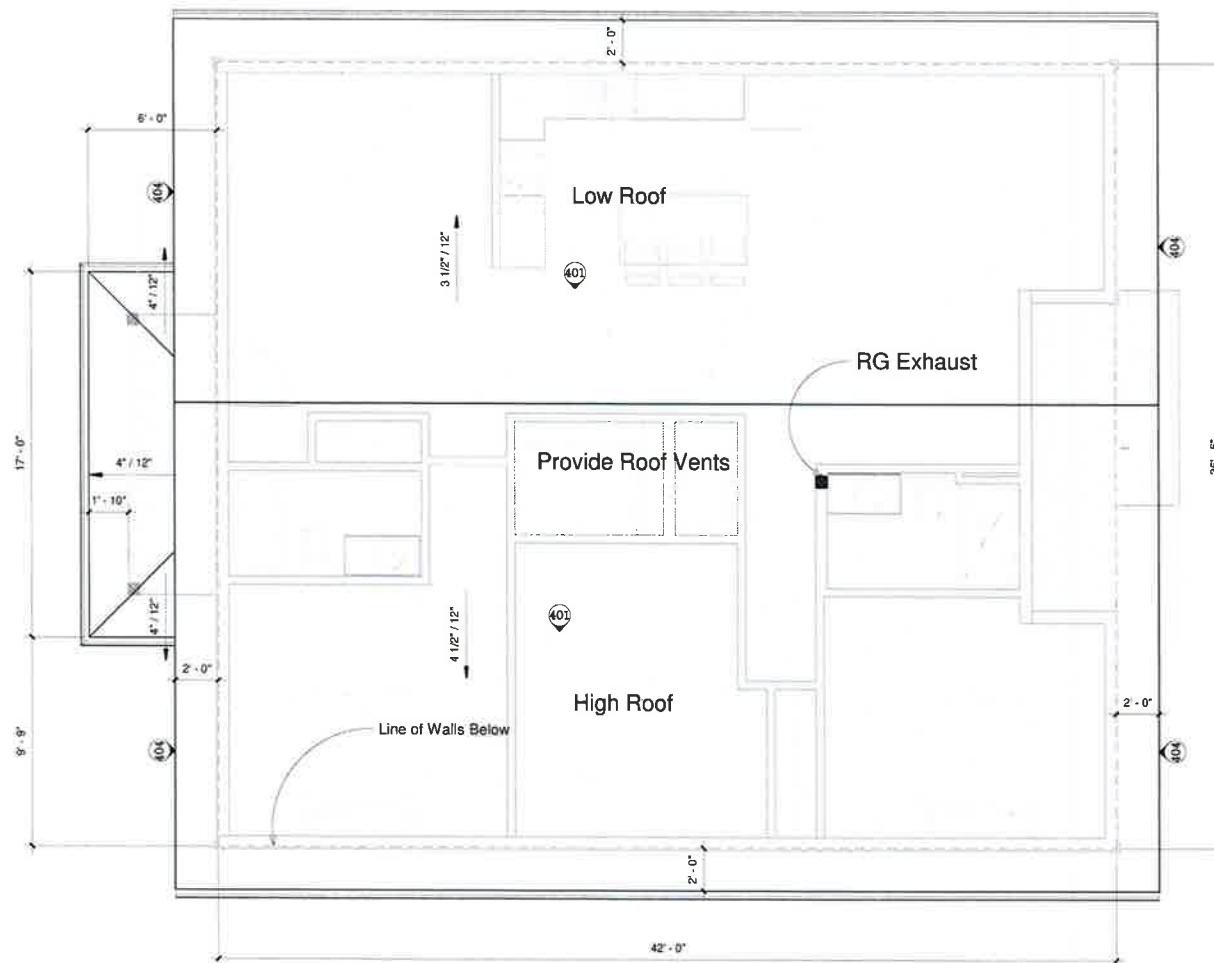


Unit 3
1475sf

Beatrice
House 3202
16th Avenue
Vernon BC
Main Floor

Date	Feb 2, 2022
Drawn by	ML
Project No.	925RDi_16032
Scale	1/4" = 1'-0"

No.	Description	Date
DP	Development Permit	July 18 2016
DP2	Development Permit	Mar 3 2017
DP3	Development Permit	Mar 20 2017
DVP	DVP	Apr 10 2017
BP	Building Permit	Apr 17 2020
1	Site Notes	May 6 2020
2	Address/Bike Parking	Feb 2 2022



Door Schedule

Type Mark	Family	Type	Count
1	Single Half Lite	36" x 80"	3
2	Single-Glass 1	32" x 80"	2
3	Single-Flush	32" x 80"	3
4	Single-Flush	30" x 80"	7
5	Single-Flush	24" x 80"	2
8	Double-Flush	48" x 80"	3
13	Sliding-Closet	72" x 80"	3
16	Double-Flush	52" x 80"	1

Grand total: 24

Window Schedule

Type Mark	Family and Type	Count
a	Slider three panel with Trim: 72" x 60"	2
a1	Slider three panel with Trim: 72" x 48"	4
a2	Slider three panel with Trim: 72" x 36"	2
b	Fixed with Trim: 72" x 16"	5
c	Fixed with Trim: 60" x 18"	2
d	Fixed with Trim: 48" x 60"	1
e	Casement Dbl w Trim: 48" x 18"	4

Grand total: 20

**Beatrice
House 3202
16th Avenue
Vernon BC
Roof**

Date Feb 2, 2022

Drawn by ML

Project No. 925RDi 16032

Scale 1/4" = 1'-0"

A5

2/2/2022 11:57 AM

9.11 RM2 : Multiple Housing Residential

9.11.1 Purpose

The purpose is to provide a **zone** for ground oriented medium **density** multiple housing on urban services.

9.11.2 Primary Uses

- apartment housing
- care centre, major
- duplex (*Bylaw 5440*)
- four-plex housing
- group home, major
- row housing
- semi-detached housing
- seniors assisted housing
- seniors housing
- seniors supportive housing
- single detached housing
- **three-plex housing**

9.11.3 Secondary Uses

- boarding rooms (*Bylaw 5440*)
- care centres, minor
- home based businesses, minor
- secondary suites (in single detached housing only) (*Bylaw 5440*)

9.11.4 Subdivision Regulations

- Minimum **lot width** is 18.0m, except it is 20.0m for a **corner lot**. For fee simple **three-plex, four-plex, row housing** and **semi-detached dwellings**, the minimum **lot width** is 7.5m for **interior lots** and 12.0m for **corner lots**.
- Minimum **lot area** is 900m², or 10,000m² if not serviced by a **community sewer system**.

9.11.5 Party Wall Subdivision Regulations

Lot Type	Minimum Lot Area		Minimum Lot Width	
	interior	corner	interior	corner
Semi-Detached Housing	225m ²	275m ²	7.8m	9.0m
Three-Plex Housing	150m ²	200m ²	6.5m	7.8m
Four-Plex Housing	150m ²	200m ²	6.5m	7.8m
Row Housing	150m ²	200m ²	6.5m	7.8m

9.11.6 Development Regulations

- With a housing agreement pursuant to Section 4.9, the maximum **density** shall be **72.0 units per gross hectare (29.0 units/gross acre)**.
- Where **parking spaces** are provided completely beneath habitable space of a primary **building** or beneath useable common amenity areas, providing that in all cases the **parking spaces** are screened from view, the maximum **density** shall be 75.0 units per gross hectare (30.5 units/gross acre). Where all the required parking

3.3 units as per "sec. 1.8 undersized lots"

is not accommodated completely beneath the habitable space of a primary **building** or useable common amenity areas, the additional density permitted shall be determined through multiplying the additional 15.0 units per gross hectare (6 units/gross acre) by the percentage of parking proposed to be provided beneath habitable space of a primary **building** or useable common amenity areas.

- **Maximum site coverage is 50%** and together with driveways, parking areas and impermeable surfaces shall not exceed 55%. ~32%
- **Maximum height is the lesser of 10.0m or 2.5 storeys**, except it is 4.5m for secondary buildings and secondary structures. 54.9%
- **Minimum front yard is 4.5m**, except it is 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry. ~ 6.9 m
- **Minimum side yard is 1.2m**, except it is 2.5m from a flanking street. Where there is no direct vehicular access to the rear yard or to an attached garage or carport, one side yard shall be at least 3.0m. The minimum side yard is 0.0m for fee simple three-plex, four-plex, row housing and semi-detached dwellings. ~8.1 m
- **Minimum rear yard is 7.5m**, except it is 1.0m for secondary buildings. 1.6 m 2.5 m
- Maximum six dwelling units located in a building, with each unit having a minimum width of 6.5m. Proposed variance for units 1 & 2 for a min width of 5.5m
- Maximum density is 60.0 units per gross hectare (24.5 units/gross acre). 7.73m

9.11.7 Other Regulations

2.8 units allowed based on the pre road dedication lot size (463.8 m²)

For multi-unit residential housing, one **office** may be operated for the sole purpose of the management and operation of the multi-unit residential **development**. (Bylaw 5440)

- In order for bareland strata **development** to be consistent with the character of the surrounding neighborhood, the strata plan shall be considered as one **site** for defining the overall use, **density** and **site coverage**.
- **The above noted subdivision and development regulations shall be applied to each strata lot within the strata plan.**
- For strata developments, common recreation buildings, facilities and amenities may be included in the strata plan. Recreational buildings shall be treated as **secondary buildings** for the purpose of determining the **height** and **setbacks** of the **building**.
- A minimum area of 5.0m² of private open space shall be provided per **bachelor dwelling, congregate housing bedroom or group home bedroom, 10.0m² of private open space shall be provided per 1 bedroom dwelling, and 15.0m² of private open space shall be provided per dwelling with more than 1 bedroom.**
- Vehicular access to the **development** is only permitted through either a driveway shared by at least 3 units or a rear lane.
- For **seniors assisted housing, seniors housing and seniors supportive housing**, a safe drop-off area for patrons shall be provided on the **site**.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (secondary **development, yards**, projections into **yards**, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7.
- As per Section 4.10.2 - **All buildings and structures, excluding perimeter fencing (garden walls and fences) on lots abutting City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B".** (Bylaw 5440)

Unit 1 requires 10m² (31.1m² provided)
 Unit 2 requires 10m² (48.1 m² provided)
 Unit 3 requires 15 m² (32.5m² provided)

OTHER REQUIREMENTS

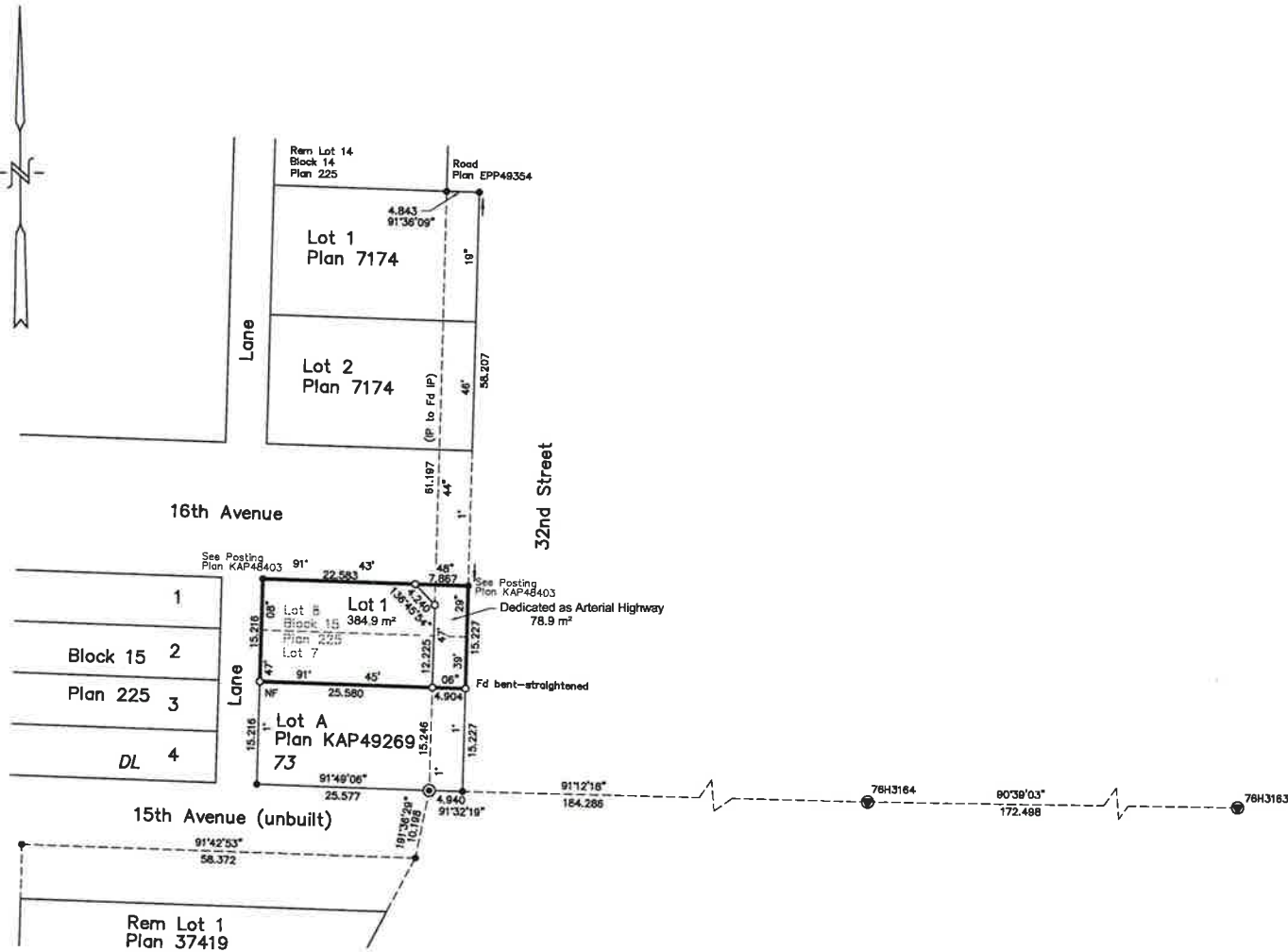
Hwy 97 setback 4.5m (8.1m provided)
 Min building width 7m (11.1 m provided)
 Min landscaping requirements front yard and along provincial hwy level 4 (3 m veg), rear yard level 2 (1.5 m veg and fence), side yard level 1 (1.5 m veg) - rear yard parking doesn't allow for required landscaping. Driveway-parking does not accommodate required rear yard landscaping.
 Parking - 4 parking spaces are required. 4 are provided.

REFERENCE PLAN OF CONSOLIDATION OF LOTS 7 AND 8, BLOCK 15, DL 73, ODYD, PLAN 225, AND DEDICATION OF ROAD.

Pursuant to Section 100(1)(b) and 107 of the Land Title Act

BCGS 82L.024
SCALE 1: 500

10 0 10 20 30
All distances are horizontal ground level, in metres and decimals thereof
THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH by 432mm IN HEIGHT (C size) WHEN PLOTTED AT A SCALE OF 1:500



PLAN EPP41416

LEGEND

INTEGRATED SURVEY AREA NUMBER 18, CITY OF VERNON, NAD83 (CSRS) 4.0.0.BC.1

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 75H3163 AND 75H3164.

THE UTM CO-ORDINATES AND ESTIMATED ABSOLUTE ACCURACY ARE DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 75H3163 AND 75H3164.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL MEASURED DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9998581 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL MONUMENTS 75H3163 AND 75H3164.

- DENOTES CONTROL MONUMENT FOUND
- DENOTES STANDARD IRON POST FOUND
- ⊙ DENOTES STANDARD CONCRETE POST FOUND
- DENOTES STANDARD IRON POST PLACED

GCM 75H3163
UTM ZONE 11 COORDINATES
Datum NAD83 (CSRS) 4.0.0.BC.1
UTM NORTHING.....5569209.673
UTM EASTING.....338257.783
ESTIMATED ABSOLUTE ACCURACY IS 0.02m
COMBINED FACTOR IS 0.9998587

GCM 75H3164
UTM ZONE 11 COORDINATES
Datum NAD83 (CSRS) 4.0.0.BC.1
UTM NORTHING.....5569211.632
UTM EASTING.....338085.320
ESTIMATED ABSOLUTE ACCURACY IS 0.02m
COMBINED FACTOR IS 0.9998584

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF VERNON.

THIS PLAN IMAGE DEDICATES ARTERIAL HIGHWAY AS AUTHORIZED BY THE MINISTRY OF TRANSPORTATION & INFRASTRUCTURE.

THIS PLAN LIES WITHIN THE REGIONAL DISTRICT OF NORTH OKANAGAN.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 31st DAY OF JANUARY, 2020.
JASON RUSSELL SHORTT, BCLS # 770

russell shortt
land SURVEYORS

2801-32nd Street, Vernon, B.C. V1T 5L8
Phone: (250)345-0511 Email: jason@rshortt.ca
F.B. 1307 p70 File: 27033 cons 242066_091520

4.9 Housing Agreements

4.9.1 City Council may enter into a housing agreement pursuant and/or covenant to the *Local Government Act*, as a condition of approval for affordable and/or special needs housing, which contains contractual arrangements as to any, or all, of the following:

- the use of the lot in relation to any existing or proposed **building or structure** including the preservation of **buildings, structures** and environmental setbacks;
- the occupancy, form of tenure, availability, administration, management and rent provisions, of the housing units;
- the timing of the **development**; and,
- such other conditions as may be considered reasonable under the circumstances.

4.9.2 Increases in the maximum **density** or reductions in parking or loading requirements are permitted to the **density** specified in the RM1, RM2, RH1, RH2, and RH3 zones provided:

- the owner enters into a housing agreement and/or covenant satisfactory to the City of Vernon; and
- such public benefit, determined by the City of Vernon, may include affordable or special needs housing for sale or rental at below market rates to qualifying purchasers or tenants or, amenities or amenity improvements to public spaces or community facilities.

4.9.3 All agreements and/or covenants entered into pursuant to Section 4.9 shall run with the land as a priority charge against the title of the subject lands at the *Land Title Office*.

4.10 Setback from Provincial Highways and City Roads (Bylaw No. 4883)

4.10.1 All **buildings, structures and landscaping excluding perimeter fencing (garden walls and fences)** on lots abutting Provincial Highways shall not be closer to the highway than the required Provincial Highway setbacks. (*Bylaw 5339*)

4.10.2 All **buildings and structures, excluding perimeter fencing (garden walls and fences)** on lots abutting City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B"

THE CORPORATION OF THE CITY OF VERNON

BYLAW 5919

A Bylaw to authorize a Housing Agreement
for 3202 16th Avenue

WHEREAS Section 483 of the *Local Government Act* provides that Council may enter into a housing agreement with an owner which may include terms and conditions regarding the occupancy of the housing units identified in the Agreement; and

WHEREAS Council wishes to enter into such an agreement regarding the development and provision of rental housing units on lands located within the City of Vernon;

NOW THEREFORE the Council of the City of Vernon in open meeting assembled enacts as follows:

1. This Bylaw may be cited for all purposes as “**3202 16th Avenue Housing Agreement Bylaw 5919, 2022**”.
2. The Council of the City of Vernon hereby authorizes the Mayor and Corporate Officer to enter into an agreement with the owner of Lot 1, DL 73, ODYD, Plan EPP41416, on behalf of the City of Vernon, as set out in **Schedule “A”**, attached hereto and forming part of this Bylaw (the “Agreement”).
3. The lands identified in the Agreement are located at 3202 16th Avenue and are legally described as: Lot 1, DL 73, ODYD, Plan EPP41416.
4. The Mayor and Corporate Officer are authorized to execute any documents required to give effect to the Agreement.

BYLAW 5919

READ A FIRST TIME this day of , 2022

READ A SECOND TIME this day of , 2022.

READ A THIRD TIME this day of , 2022.

ADOPTED THIS day of , 2022.

Mayor

Corporate Officer

Schedule 'A'
Attached to and forming part of Bylaw 5919
"3202 16th Avenue Housing Agreement Bylaw 5919, 2022"

THIS AGREEMENT dated for reference August 15, 2022.

BETWEEN:

RUBI-JANE INVESTMENTS LTD.

c/o 2801 - 32nd Street
Vernon British Columbia, V1T 5L8

(the "**Owner**")

AND:

THE CORPORATION OF THE CITY OF VERNON

3400 - 30th Street
Vernon, British Columbia, V1T 5E6

(the "**City**")

Background

- A. The Owner is the registered owner of those lands and premises at 3202 – 16th Avenue, Vernon British Columbia (the "**Lands**") and which are legally described as:

Parcel Identifier: 031-286-411
Lot 1, District Lot 73, ODYD, Plan EPP41416
- B. The Owner intends to construct on the Lands a building containing three dwelling units, together with parking and landscaping (the "**Development**").
- C. Section 219 of the *Land Title Act*, R.S.B.C. 1996, c. 250 (the "**Act**") provides, *inter alia*, that there may be registered as a charge against title to land a covenant, whether of a negative or positive nature, in respect of the use of land or the use of building erected or to be erected on land, in favour of a municipality or the Crown.
- D. The Owner has requested that the Owner, as owner of the Lands enter into this Covenant with the City with respect to the Development of the Lands and the Owner has agreed to do so.

A. Terms of Agreement

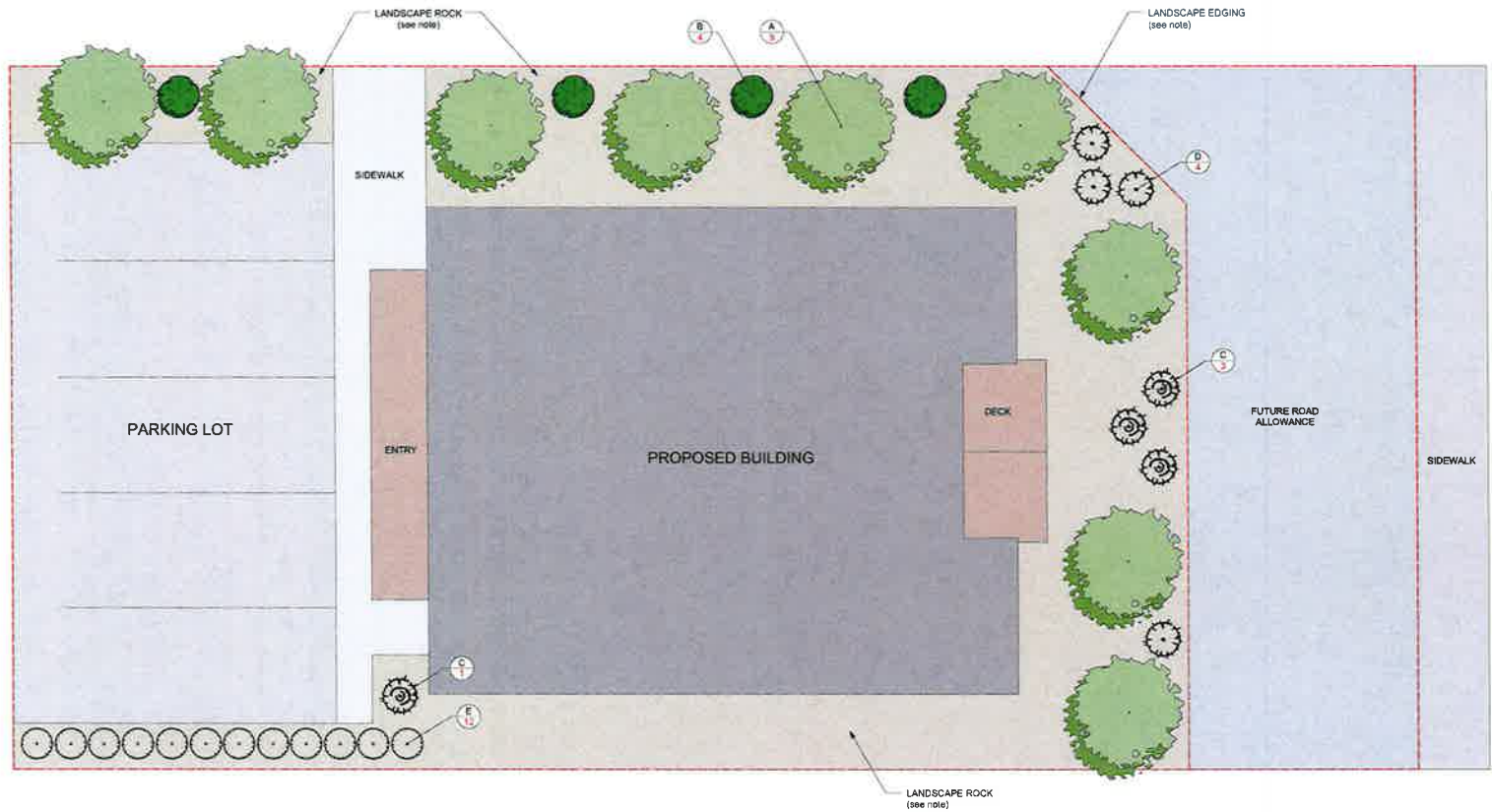
In consideration of \$1.00 and other good and valuable consideration now paid by the City to the Owner (the receipt and sufficiency of which is hereby acknowledged), the parties agree as follows:

1. From the date of this Agreement and continuing thereafter until July 1, 2042, the Owner covenants and agrees with the City that there will be no further subdivision of the Lands, whether under the provision of the Act or the *Strata Property Act*.
2. Neither the Owner nor any future owner of the Lands shall be liable under any of the covenants and agreements contained in this Agreement where such liability arises by reason of an act or omission occurring after the Owner or any future owner ceases to have any further interest in the Lands.
3. The covenants contained in this Agreement are and shall be deemed to be covenants running with the Lands pursuant to Section 219 of the Act and shall be binding upon the Owner and its successors in title to the Lands and shall enure to the benefit of the City and its successors, in perpetuity, and may only be modified or discharged pursuant to the provisions of Section 219 of the Act or pursuant to the provisions of an order of a Court of competent jurisdiction.
4. Wherever the context so requires, any term used in this Agreement importing the singular number only shall include the plural and vice versa and words importing any gender shall include all other genders.
5. The Owner acknowledges and agrees that damages are not an adequate remedy for breach of the covenants herein contained and further that the City, in the event of any such breach will and shall be entitled to apply to a Court of competent jurisdiction for an Order restraining and prohibiting the continuance of any such breach.
6. Nothing contained or implied in this Agreement shall prejudice or affect the City's rights and powers in the exercise of its functions pursuant to the *Community Charter* or the *Local Government Act* of British Columbia or its rights and powers under all of its public and private statutes, bylaws, orders and regulations to the extent that the same are applicable to the Lands, all of which may be fully and effectively exercised in relation to the Lands as if these covenants had not been executed and delivered by the Owner.
7. The Owner shall do all such further acts and execute and deliver such deeds, assignments, documents and instruments and evidences of transfer and shall give such further assurance as shall be necessary or appropriate in connection with the performance of its obligations under this Agreement to carry out the intent and purpose of this Agreement.
8. If any part of this Agreement is found to be illegal or unenforceable, that part will be considered separate and severable from the rest, and the remaining parts will

not be affected thereby and will be enforceable to the fullest extent permitted by law.

9. This Agreement and all rights, entitlements, duties and obligations arising from it shall enure to the benefit of and be binding upon the parties and each of their respective heirs, executors, successors and assigns.

AS EVIDENCE OF THEIR AGREEMENT the parties have executed this agreement on one or more pages of the General Instrument.



DRAWING NOTES

LANDSCAPE ROCK:

The contractor shall supply and place landscape rock to those areas shown on the drawings. Product shall be 25mm diameter.

All landscape rock areas come with weed barrier fabric beneath them.

GROWING MEDIUM:

All planting medium shall be new or amended topsoil capable of promoting healthy plant growth for those plants specified on the plant list.

LANDSCAPE EDGING:

The contractor shall supply and place landscape edging to separate landscape rock areas from edge of property.

IRRIGATION:

The contractor shall supply and place irrigation system. All work and products shall meet or exceed the Irrigation Association of B.C. standards and specifications.

All tree, shrub beds and groundcover areas are to be irrigated with an automatically timed drip irrigation system.

PLANT LIST

ID	QTY	COMMON NAME	BOTANICAL NAME	SIZE
A	9	Swedish Columnar Aspen	Populus tremula 'Erecta'	6cm CAL
B	4	Dwarf Mugo Pine	Pinus mugo 'Pumilio'	802 CONT.
C	4	Rosa Glow Sarberny	Barbentia thunbergii 'Rosy Glow'	802 CONT.
D	4	Cold Spasit Euryymus	Euroymus fortunei 'Roermetwo'	802 CONT.
E	12	Kari Foerster Reed Grass	Calamagrostis acutiflora 'Kari Foerster'	801 CONT.



SWAN LAKE NURSERYLAND
 7820 HIGHLAND RD
 VERNON, BC
 V1E 3V6
 TEL: (250) 542 7814
 FAX: (250) 542 7852
 admin@myswanlake.com

SITE NORTH



GENERAL CONDITIONS

Check and verify all critical drawings and dimensions prior to the start of construction. Verify against the site plan and any discrepancies in fieldwork. Verify dimensions and always take photographs and field notes.

The drawings shall be used in conjunction with all permits and specifications. Check for conflicts and notify the design professional. Check for conflicts and notify the design professional. Check for conflicts and notify the design professional.

DATE	REVISED / DATE
27 JAN 2016	Client Name
#	DATE
	BY: VERNON

PROJECT FILE

BEATRICE HOUSE
 1500 32ND STREET
 VERNON, BC

SHEET TITLE

LANDSCAPE PLAN

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Job No. _____
 Date: _____
 Scale: _____
 Client: _____
 Designer: _____

SHEET NUMBER

L1.0